

MANAGEMENT REPORT

Date: March 25, 2024
To: Mayor and Council
From: Alexander Burnett, Planner
Report Number: COU24-031
Attachments: None

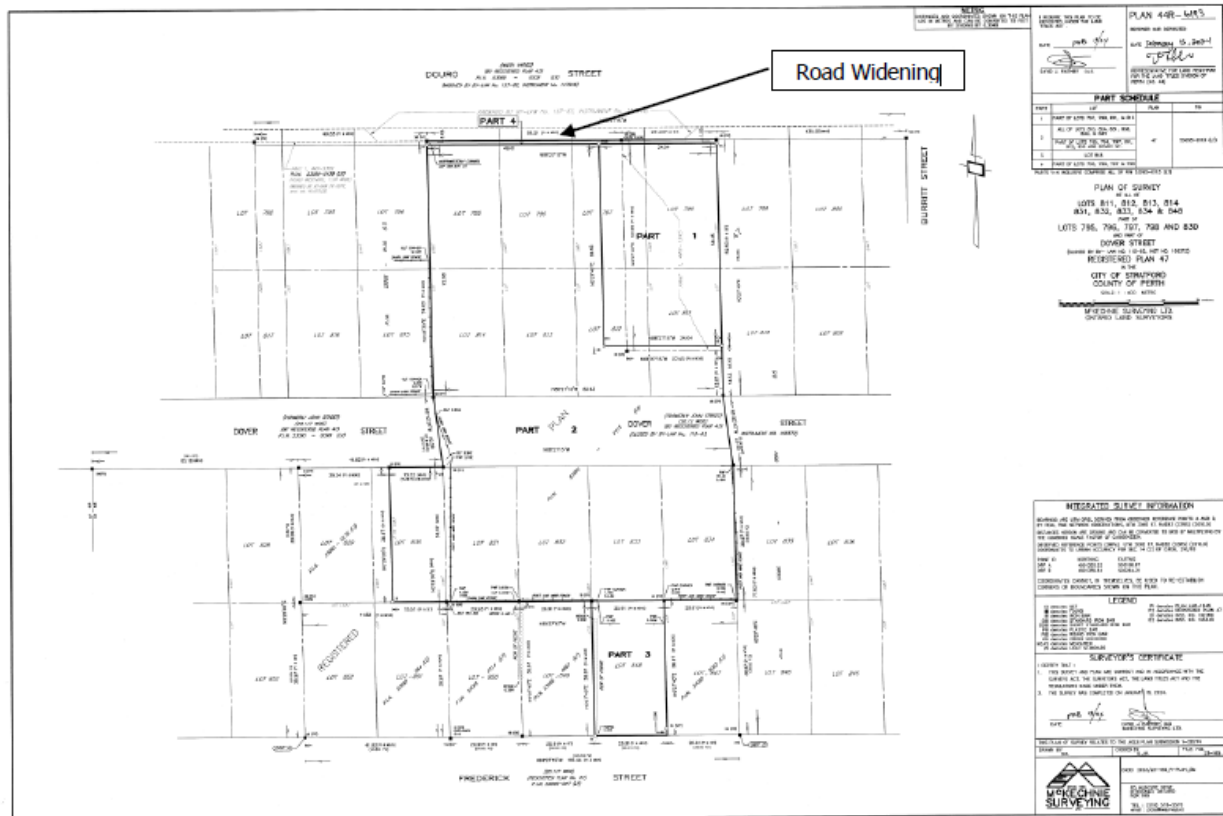
Title: Road Widening for Consent Application B01-23, 172 Frederick Street and 473 Douro Street

Objective: The purpose of this report is to seek Council authorization for the conveyance of Part 4 on Reference Plan 44R-6193 from Culliton Corporation to The Corporation of the City of Stratford and to dedicate these lands as public highway for the purpose of a 1.048 metre road widening along Douro Street.

Background: Culliton Corporation received provisional consent for application B01-23 on May 29, 2023. The severance will create an industrial building lot on the northeast portion of the subject lands. Condition no. 5 of the provisional consent requires the owner, prior to the stamping of the deed, to dedicate a 1.048-metre-wide strip of land to the City of Stratford along the Douro Street frontage for road widening purposes. This dedication shall be free and clear of all encumbrances and all costs shall be borne by the owner.

Analysis: Part 4 on Reference Plan 44R-6193 is required to be dedicated to the City of Stratford in order to satisfy the above-described condition and this dedication is for road widening purposes along Douro Street. These Parts, upon being transferred to the City, should be dedicated as public highway.

PLAN 44R-6193:



Location & Severance Map



The owner will be responsible for all costs associated with the transfer of the land to the City of Stratford.

Financial Implications:

Financial impact to current and future year operating budgets:

There are no financial implications to the City for the transaction. Upon assumption of the road widening, there will be negligible impact on annual operating and maintenance costs to maintain the grassed boulevard.

Link to asset management plan and strategy:

As with any property conveyance, the parcel becomes part of the City's land inventory. In the case of minor sections intended to widen the existing road asset, they do not result in an acquisition transaction, rather just an expansion of the existing asset, with no financial consequences of the nominally valued addition.

Alignment with Strategic Priorities:

Mobility, Accessibility and Design Excellence

Improving ways to get around, to and from Stratford by public transit, active transportation and private vehicle.

Alignment with One Planet Principles:

Not applicable:

The conveyance of the road widening will help meet the Design Width of Douro Street and provide the opportunity for improved road design.

Staff Recommendation: THAT the conveyance of Part 4 on Reference Plan 44R-6193 from Culliton Corporation to The Corporation of the City of Stratford, be authorized;

AND THAT upon conveyance of Part 4 on Reference Plan 44R-6193 to the City of Stratford, these lands be dedicated public highway forming part of Douro Street.

Prepared by:

Alexander Burnett, Planner

Recommended by:

Adam Betteridge, MPA, MCIP, RPP, Director of Building and Planning Services

Joan Thomson, Chief Administrative Officer