

STACKED TOWNHOMES

BRADSHAW TOWNS

SCOPE OF WORK:

CONSTRUCTION OF TOWN HOUSE
(10 STACKED UNITS) ON EXTG.
EMPTY PLOT OF LAND. TOTAL
SQUARE METERS OF 700 S.M.
(NOT INCLUDING BASEMENT)

SHEET NO.	SHEET TITLE
A001	Cover Page
A002	Assemblies & Notes
A100	Foundation Plan
A101	Basement Plan
A102	Main Floor Plan
A103	Second Floor Plan
A104	Third Floor Plan
A105	Roof Plan
A201	Elevations
A202	Elevations
A203	Elevations - Spatial Seperations
A301	Building Section
A302	Building Section
A401	Details
A402	Details



QUALIFICATION INFORMATION

I, BENJAMIN MCFADGEN REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4. OF DIVISION C OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

NAME	BCIN
BENJAMIN MCFADGEN	102186
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BM ARCHITECTURAL DESIGN

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PROJECT

Bradshaw Townhomes

Bradshaw Townhomes

DRAWING NAME	DRAWING NO.
Cover Page	A001

COLUMN LEGEND

C1 HSS 4"x4"x1/4"

C2 HSS 5"x5"x3/8"

C3 HSS 6"x6"x1/2"

ANCHOR BOLTS FOR STEEL COLUMNS

C1 A.BOLT 1/2" DIA. 1/19" EMB.

C2 A.BOLT 3/4" DIA. 1/19" EMB.

C3 A.BOLT 1" DIA. 1/23" EMB.

C1 BASE PLATE 8"x10"x1/2"

C2 BASE PLATE 8"x10"x1/2"

C3 BASE PLATE 12"x12"x3/4"

ALL LINTEL COLUMNS TO BE 2X6 WITH PILES TO MATCH LINTEL IT IS BRG. UNLESS NOTED OTHERWISE. 4-2X6 COLUMNS TO BE USED TO BEAR LVL LINTELS UNLESS NOTED OTHERWISE

SEE VARIOUS DETAILS ON SHEET A401

ALL CODE REFER ENC 65 REFER OBC 2012 DIVISION 'B'

ENERGY EFFICIENCY COMPLIANCE STANDARD 5B-12 AS PER HVAC DESIGN ATTACHED & EDS FORM

ADJUSTMENTS OR CHANGES MADE TO THE FLOOR LAYOUT ROOF TRUSS LAYOUT, BEAMS, LINTELS & POINT LOADS OR REQUIRED LOAD BEARING WALLS MUST BE IDENTIFIED PRIOR TO CONSTRUCTION. PROJECT ENGINEER MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

TYPICAL WALL STUD CONSTRUCTION

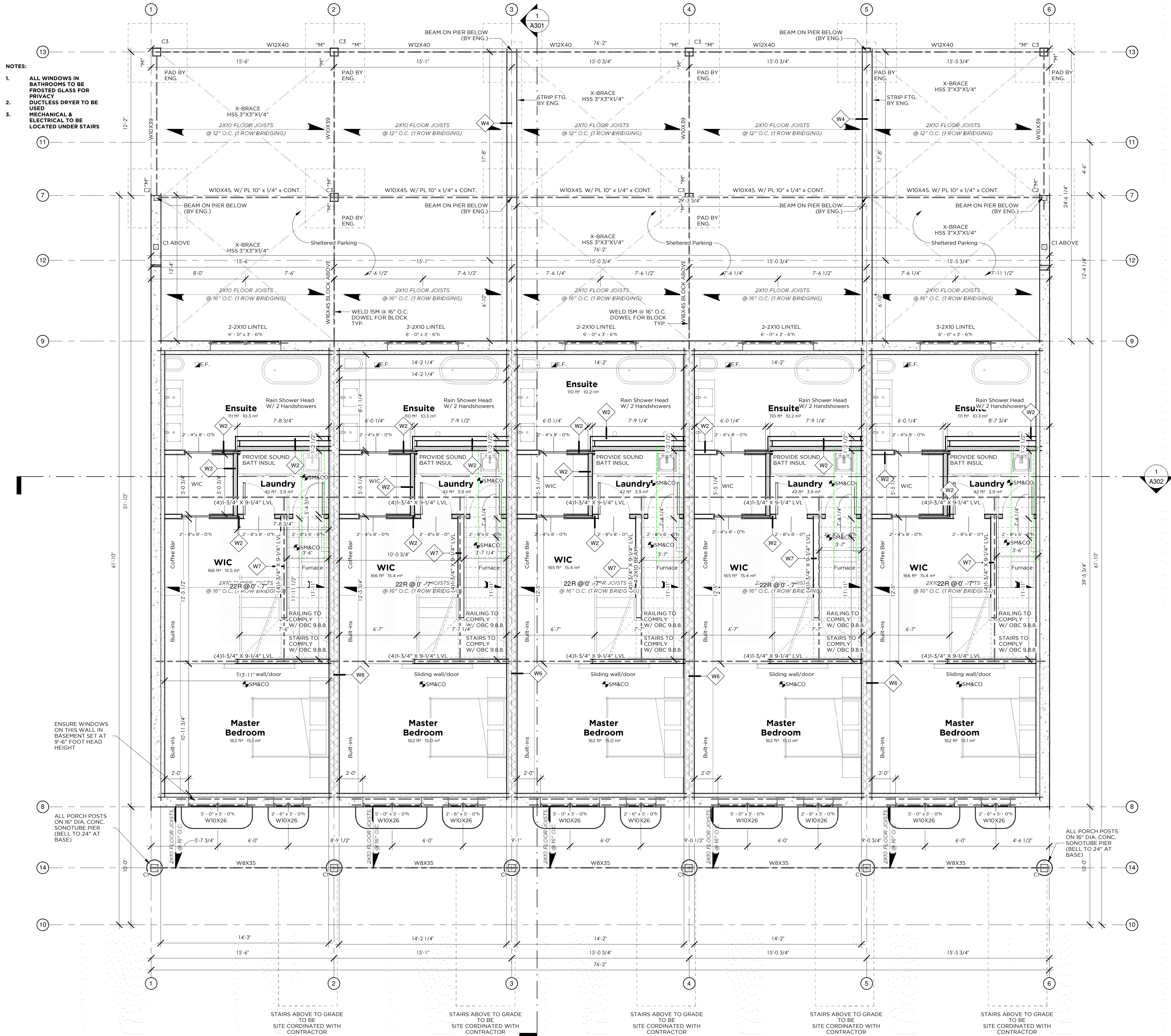
TYPICAL EXTERIOR WALLS TO BE 2x6 SPF #2 @ 16" O/C. (UP TO 13' HIGH)

ALL 14" & 16" HIGH EXTERIOR WALLS TO BE 2x6 SPF #2 @ 12" O/C.

TYPICAL INTERIOR WALLS TO BE 2x6 SPF #2 @ 16" O/C. (UP TO 13' HIGH)

ALL 14" & 16" HIGH INTERIOR WALLS TO BE 2x6 SPF #2 @ 12" O/C.

ALL 10" HIGH INTERIOR BASEMENT WALLS TO BE 2x6 SPF #2 @ 16" O/C.



- DRAWING NOTES:**
- ALL EXTERIOR OPENINGS TO HAVE 2-2X10 LINTELS UNLESS OTHERWISE ANNOTATED
 - ASSUMED 3-1/2" X 3-1/2" X 1/4" BRICK LINTEL FOR ALL EXTERIOR OPENINGS IN BRICK VENEER UNLESS OTHERWISE ANNOTATED.
 - GARAGE WALLS & "BUMP OUT" WALLS DO NOT REQUIRE INSULATION. REFER TO A201 & A202 ELEVATIONS FOR FULL EXTENT OF WINDOW DIMENSIONS.
- STAIR REQUIREMENTS**
- MAX.RISE= 7.87"
 - MIN.RISE= 4.92"
 - MIN.RUN= 8.267"
 - MAX.RUN= 13.976"
 - MIN.TREAD= 10.25"
 - MAX.TREAD= 13.986"
 - MIN.WIDTH= 33.858"
 - MIN.HEAD ROOM= 76.77"
- Smoke alarms**
- INTERCONNECTED SMOKE ALARM/CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SEE CAN/ULC-5531 "SMOKE ALARMS"
- GUARDRAIL REQUIREMENTS**
- INTERIOR LANDINGS= 35.433"
 - EXTERIOR BALCONY= 42.125"
 - INTERIOR STAIRS= MIN.34.055", MAX. 37.39"
 - EXTERIOR STAIRS= 35.433"
 - MAX. BETWEEN PICKETS= < 3.937"
- GUARD @ PATIO/DECK**
- GRADE > THAN 70.86= 42.125"
 - GRADE < THAN 70.86= 35.433"

QUALIFICATION INFORMATION

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PROJECT

Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME Basement Plan
DRAWING NO. A101

COLUMN LEGEND

C1 HSS 4"x4"x1/4"
C2 HSS 5"x5"x3/8"
C3 HSS 6"x6"x1/2"

ANCHOR BOLTS FOR STEEL COLUMNS

C1 A BOLT 1/2" DIA. 19" EMB.
C2 A BOLT 3/4" DIA. 19" EMB.
C3 A BOLT 1" DIA. 23" EMB.

C1 BASE PLATE 8"x10"x1/2"
C2 BASE PLATE 8"x10"x1/2"
C3 BASE PLATE 12"x12"x3/4"

ALL LINTEL COLUMNS TO BE 2X6 WITH PLIES TO MATCH LINTEL. IT IS BRC. UNLESS NOTED OTHERWISE. 4-2X6 COLUMNS TO BE USED TO BEAR LVL LINTELS UNLESS NOTED OTHERWISE

SEE VARIOUS DETAILS ON SHEET A401

ALL CODE REFER ENC 55 REFER OBC 2012 DIVISION 'B'

ENERGY EFFICIENCY COMPLIANCE STANDARD 5B-12 AS PER HVAC DESIGN ATTACHED & EEDS FORM

ADJUSTMENTS OR CHANGES MADE TO THE FLOOR LAYOUT ROOF TRUSS LAYOUT, BEAMS, LINTELS & POINT LOADS OR REQUIRED LOAD BEARING WALLS MUST BE IDENTIFIED PRIOR TO CONSTRUCTION. PROJECT ENGINEER MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

TYPICAL WALL STUD CONSTRUCTION

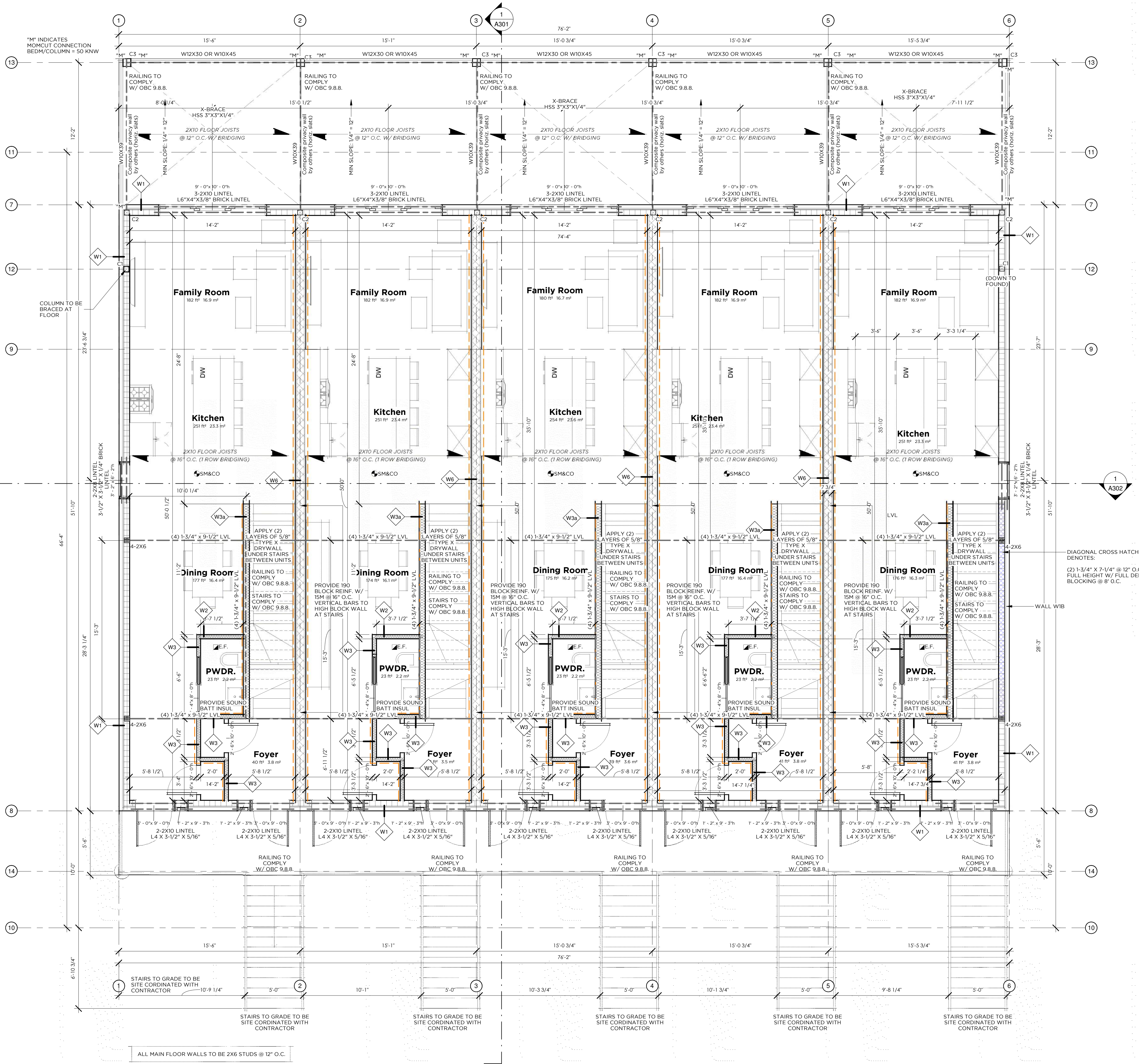
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ALL 14' & 16' HIGH INTERIOR WALLS TO BE 2/2x6 SPF #2 @ 12" O/C.

ALL 10' HIGH INTERIOR BASEMENT WALLS TO BE 2x6 SPF #2 @ 16" O/C.



- DRAWING NOTES:**
- ALL EXTERIOR OPENINGS TO HAVE 2-2X10 LINTELS UNLESS OTHERWISE ANNOTATED
 - ASSUMED 3-1/2" X 3-1/2" X 1/4" BRICK LINTEL FOR ALL EXTERIOR OPENINGS IN BRICK VENEER UNLESS OTHERWISE ANNOTATED
 - GARAGE WALLS & "BUMP OUT WALLS" DO NOT REQUIRE INSULATION. REFER TO A002 FOR ALL WALL ASSEMBLIES
 - REFER TO A201 & A202 ELEVATIONS FOR FULL EXTENT OF WINDOW DIMENSIONS.
- STAIR REQUIREMENTS**
- MAX RISE= 7.87"
 - MIN RISE= 4.92"
 - MIN RUN= 8.267"
 - MAX RUN= 13.976"
 - MIN TREAD= 10.25"
 - MAX TREAD= 13.986"
 - MIN WIDTH= 33.858"
 - MIN HEAD ROOM= 76.77"
- Smoke alarms**
- INTERCONNECTED SMOKE ALARM/CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SEE CAN/ULC-S531 "SMOKE ALARMS"
- GUARDRAIL REQUIREMENTS**
- INTERIOR LANDINGS= 35.433"
 - EXTERIOR BALCONY= 42.125"
 - INTERIOR STAIRS= MIN. 34.055", MAX. 37.99"
 - EXTERIOR STAIRS= 35.433"
 - MAX. BETWEEN PICKETS= < 3.937"
- GUARD @ PATIO/DECK**
- GRADE > THAN 70.86= 42.125"
 - GRADE < THAN 70.86= 35.433"

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BM ARCHITECTURAL DESIGN

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PROJECT

Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME Main Floor Plan
DRAWING NO. A102

COLUMN LEGEND

C1 HSS 4"x4"x1/4"
C2 HSS 5"x5"x3/8"
C3 HSS 6"x6"x1/2"

ANCHOR BOLTS FOR STEEL COLUMNS

C1 A.BOLT 1/2" DIA. 19" EMB.
C2 A.BOLT 3/4" DIA. 19" EMB.
C3 A.BOLT 1" DIA. 23" EMB.

C1 BASE PLATE 8"x10"x1/2"
C2 BASE PLATE 8"x10"x1/2"
C3 BASE PLATE 12"x12"x3/4"

ALL LINTEL COLUMNS TO BE 2X6 WITH PLIES TO MATCH LINTEL IT IS BRG. UNLESS NOTED OTHERWISE. 4-2X6 COLUMNS TO BE USED TO BEAR LVL LINELS UNLESS NOTED OTHERWISE

SEE VARIOUS DETAILS ON SHEET A401

ALL CODE REFER ENC 55 REFER OBC 2012 DIVISION 'B'

ENERGY EFFICIENCY COMPLIANCE
STANDARD 58-12 AS PER HVAC DESIGN ATTACHED & EDS FORM

ADJUSTMENTS OR CHANGES MADE TO THE FLOOR LAYOUT ROOF TRUSS LAYOUT, BEAMS, LINELS & POINT LOADS OR REQUIRED LOAD BEARING WALLS MUST BE IDENTIFIED PRIOR TO CONSTRUCTION. PROJECT ENGINEER MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

TYPICAL WALL STUD CONSTRUCTION

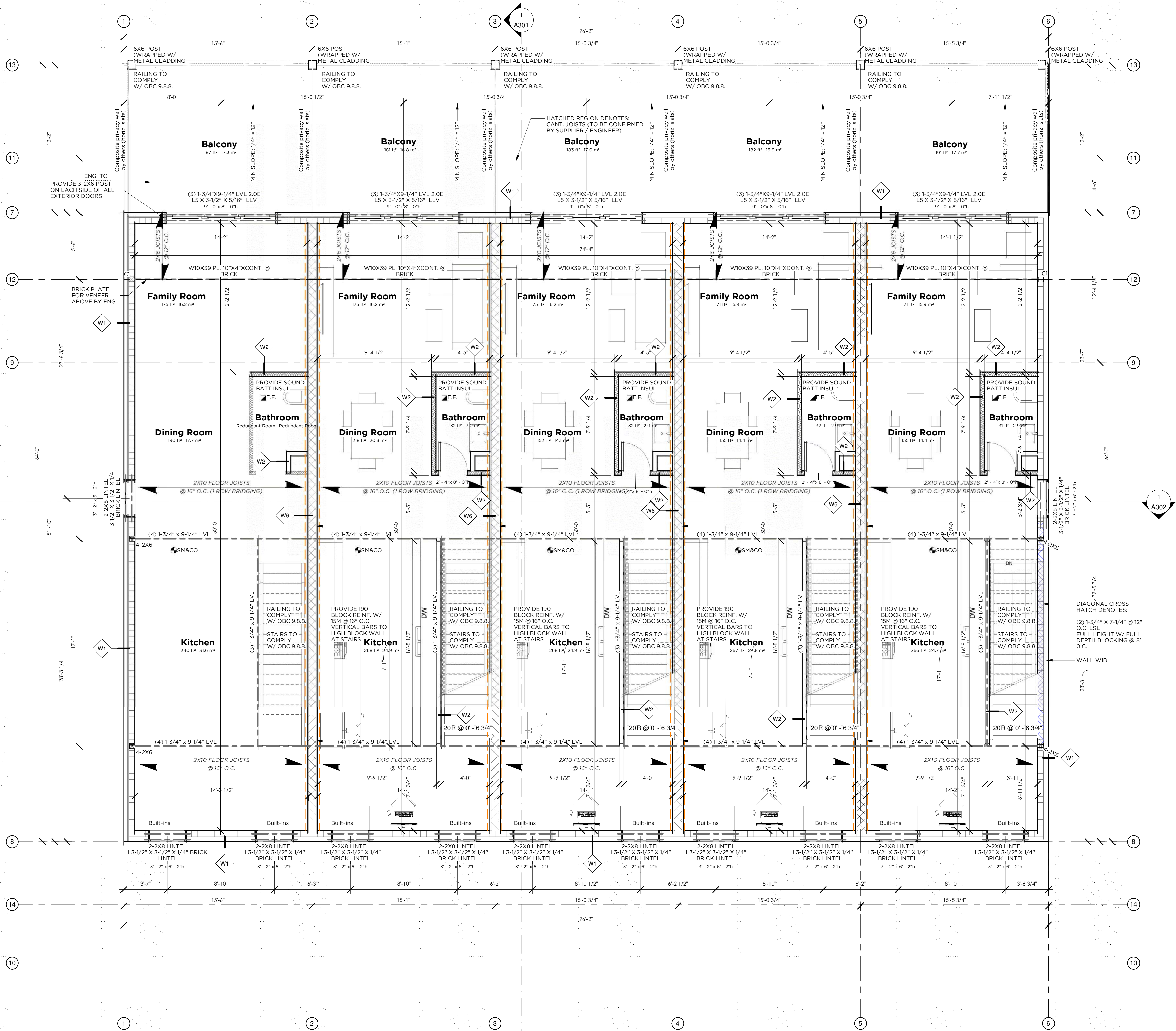
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ALL 14' & 16' HIGH INTERIOR WALLS TO BE 2x6 SPF #2 @ 12" O.C.

ALL 10' HIGH INTERIOR BASEMENT WALLS TO BE 2x6 SPF #2 @ 16" O.C.



- DRAWING NOTES:**
- ALL EXTERIOR OPENINGS TO HAVE 2-2X10 LINELS UNLESS OTHERWISE ANNOTATED
 - ASSUMED 5-1/2" X 3-1/2" X 1/4" BRICK LINTEL FOR ALL EXTERIOR OPENINGS IN BRICK VENEER UNLESS OTHERWISE ANNOTATED
 - GARAGE WALLS & "BUMP OUT" WALLS DO NOT REQUIRE INSULATION
 - REFER TO A201 & A202 ELEVATIONS FOR FULL EXTENT OF WINDOW DIMENSIONS

- STAIR REQUIREMENTS**
- MAX RISE= 7.67"
 - MIN RISE= 4.92"
 - MIN RUN= 8.267"
 - MAX RUN= 13.976"
 - MIN TREAD= 10.25"
 - MAX TREAD= 13.986"
 - MIN WIDTH= 33.858"
 - MIN HEAD ROOM= 76.77"

Smoke alarms
INTERCONNECTED SMOKE ALARM/CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SEE CAN/ULC-5531 "SMOKE ALARMS"

- GUARDRAIL REQUIREMENTS**
- INTERIOR LANDINGS= 35.433"
 - EXTERIOR BALCONY= 42.125"
 - INTERIOR STAIRS= MIN. 34.055", MAX. 37.39"
 - EXTERIOR STAIRS= 35.433"
 - MAX. BETWEEN PICKETS= 3.937"

- GUARD @ PATIO/DECK**
- GRADE > THAN 70.86= 42.125"
 - GRADE < THAN 70.86= 35.433"

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PROJECT: Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME: Second Floor Plan
DRAWING NO.: A103

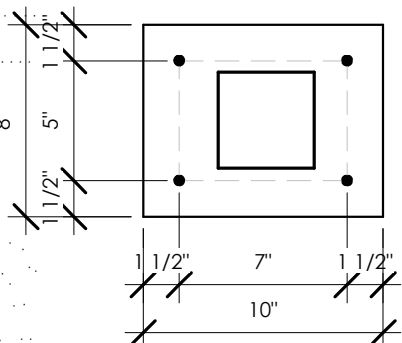
COLUMN LEGEND

C1 HSS 4"x4"x1/4"
C2 HSS 5"x5"x3/8"
C3 HSS 6"x6"x1/2"

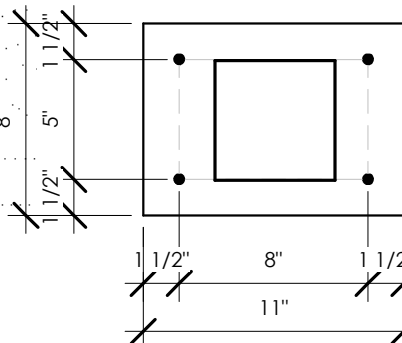
**ANCHOR BOLTS FOR
STEEL COLUMNS**

C1 A BOLT 1/2" DIA. 19" EMB.
C2 A BOLT 3/4" DIA. 19" EMB.
C3 A BOLT 1" DIA. 23" EMB.

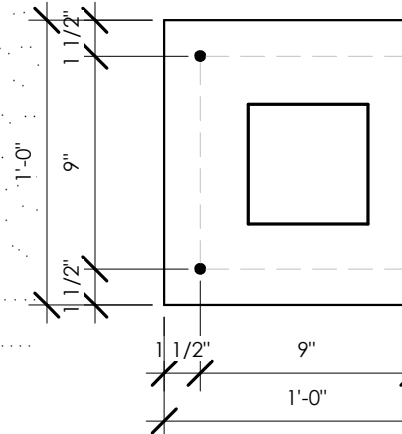
C1 BASE PLATE 8"x10"x1/2"



C2 BASE PLATE 8"x10"x1/2"



C3 BASE PLATE 12"x12"x3/4"



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SEE VARIOUS DETAILS ON SHEET A401

ALL CODE REFER ENC ES REFER OBC 2012 DIVISION 'B'

ENERGY EFFICIENCY COMPLIANCE STANDARD SB-12 AS PER HVAC DESIGN ATTACHED & EEDS FORM

ADJUSTMENTS OR CHANGES MADE TO THE FLOOR LAYOUT ROOF TRUSS LAYOUT, BEAMS, LINTELS & POINT LOADS OR REQUIRED LOAD BEARING WALLS MUST BE IDENTIFIED PRIOR TO CONSTRUCTION. PROJECT ENGINEER MUST BE NOTIFIED FOR FURTHER REVIEW AND APPROVAL.

TYPICAL WALL STUD CONSTRUCTION

TYPICAL EXTERIOR WALLS TO BE 2x6 SPF #2 @ 16" O/C. (UP TO 13' HIGH)

ALL 14' & 16' HIGH EXTERIOR WALLS TO BE 2/2x6 SPF #2 @ 12" O/C.

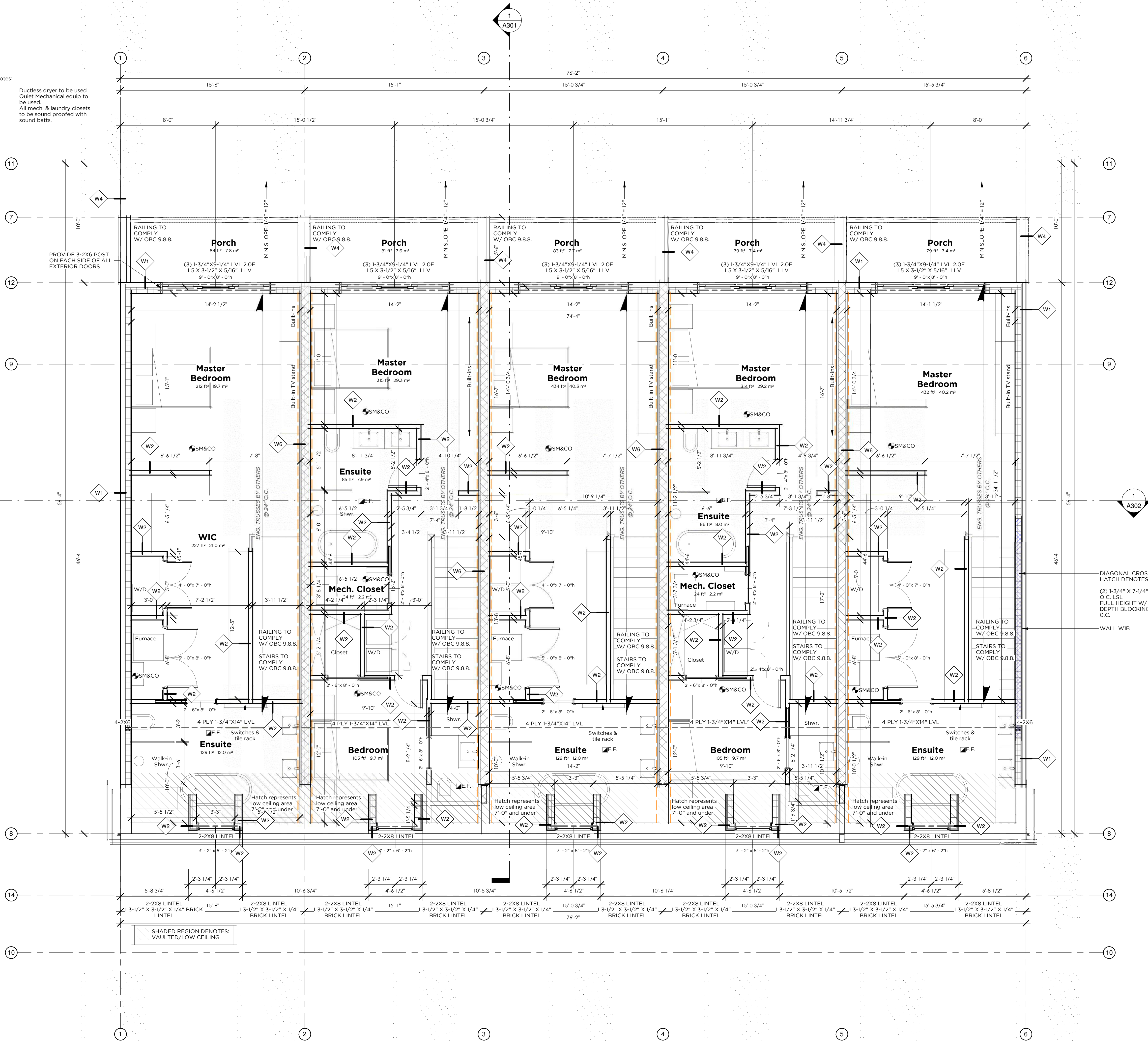
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ALL 14' & 16' HIGH INTERIOR WALLS TO BE 2/2x6 SPF #2 @ 12" O/C.

ALL 10' HIGH INTERIOR BASEMENT WALLS TO BE 2x6 SPF #2 @ 16" O/C.

Proposed Loft Floor Plan
1/4" = 1'-0"

- Notes:
- Ductless dryer to be used. Quiet Mechanical equip to be used.
 - All mech. & laundry closets to be sound proofed with sound batts.



DRAWING NOTES:

- ALL EXTERIOR OPENINGS TO HAVE 2-2X10 LINTELS UNLESS OTHERWISE ANNOTATED
- ASSUMED 3-1/2" X 3-1/2" X 1/4" BRICK LINTEL FOR ALL EXTERIOR OPENINGS IN BRICK VENEER UNLESS OTHERWISE ANNOTATED.
- GARAGE WALLS & "BUMP OUT" WALLS DO NOT REQUIRE INSULATION. REFER TO A202 FOR ALL WALL ASSEMBLIES.
- REFER TO A201 & A202 ELEVATIONS FOR FULL EXTENT OF WINDOW DIMENSIONS.

STAIR REQUIREMENTS

- MAX RISE= 7.87"
- MIN RISE= 4.92"
- MIN RUN= 8.267"
- MAX RUN= 13.976"
- MIN TREAD= 10.23"
- MAX TREAD= 13.986"
- MIN WIDTH= 33.858"
- MIN HEAD ROOM= 76.77"

Smoke alarms

INTERCONNECTED SMOKE ALARM/CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SEE CAN/ULC-5531 "SMOKE ALARMS"

GUARDRAIL REQUIREMENTS

- INTERIOR LANDINGS= 35.433"
- EXTERIOR BALCONY= 42.125"
- INTERIOR STAIRS= MIN. 34.055", MAX. 37.39"
- EXTERIOR STAIRS= 35.433"
- MAX. BETWEEN PICKETS= < 3.937"

GUARD @ PATIO/DECK

- GRADE > THAN 70.86= 42.125"
- GRADE < THAN 70.86= 35.433"

QUALIFICATION INFORMATION

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PROJECT
Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME

Third Floor Plan

DRAWING NO.

A104

Elevation Legend

- 1 Brick Veneer
- 2 Asphalt Shingles
- 3 Exterior Grade Comp. Moulding
- 4 Exterior Finished Concrete
- 5 Glass Panel Railing
- 6 Wood Horizontal Siding
- 7 Black Steel Railing



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PROJECT
Bradshaw Townhomes
Bradshaw Townhomes

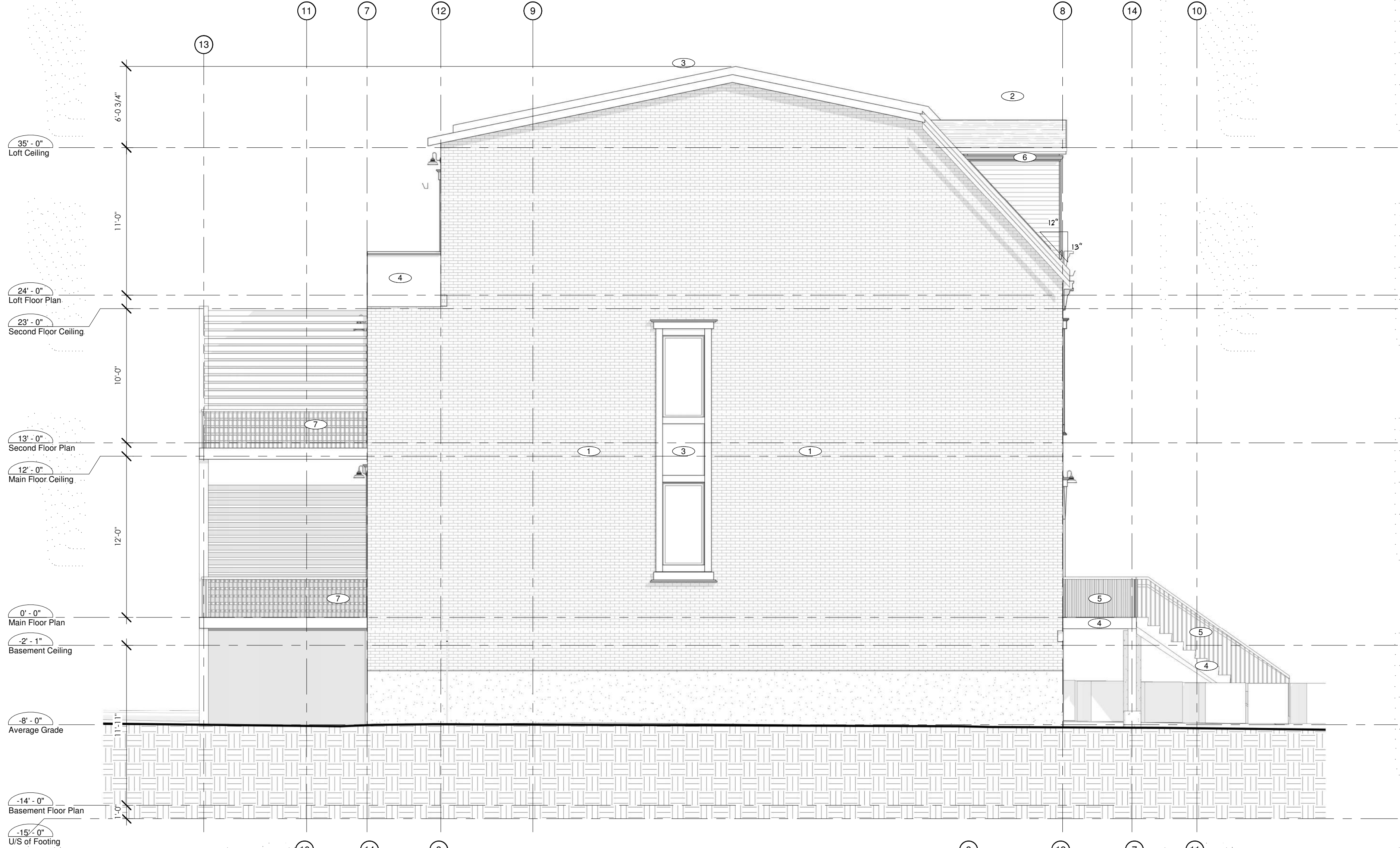
DRAWING NAME
Elevations

DRAWING NO.
A201

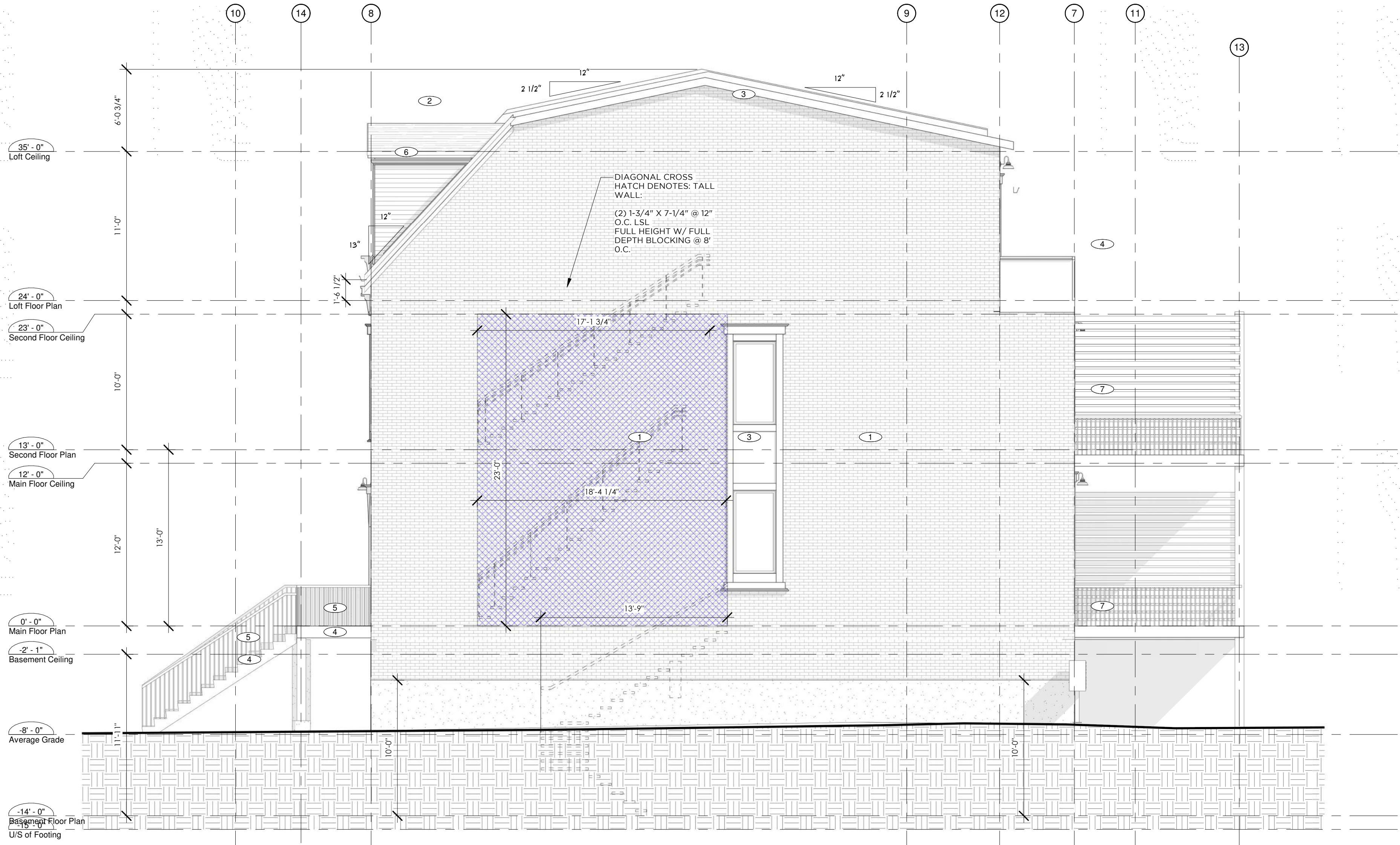
Elevation Legend

- 1 Brick Veneer
- 2 Asphalt Shingles
- 3 Exterior Grade Comp. Moulding
- 4 Exterior Finished Concrete
- 5 Glass Panel Railing
- 6 Wood Horizontal Siding
- 7 Black Steel Railing

1 North Schematic
3/16" = 1'-0"



2 South Schematic
3/16" = 1'-0"



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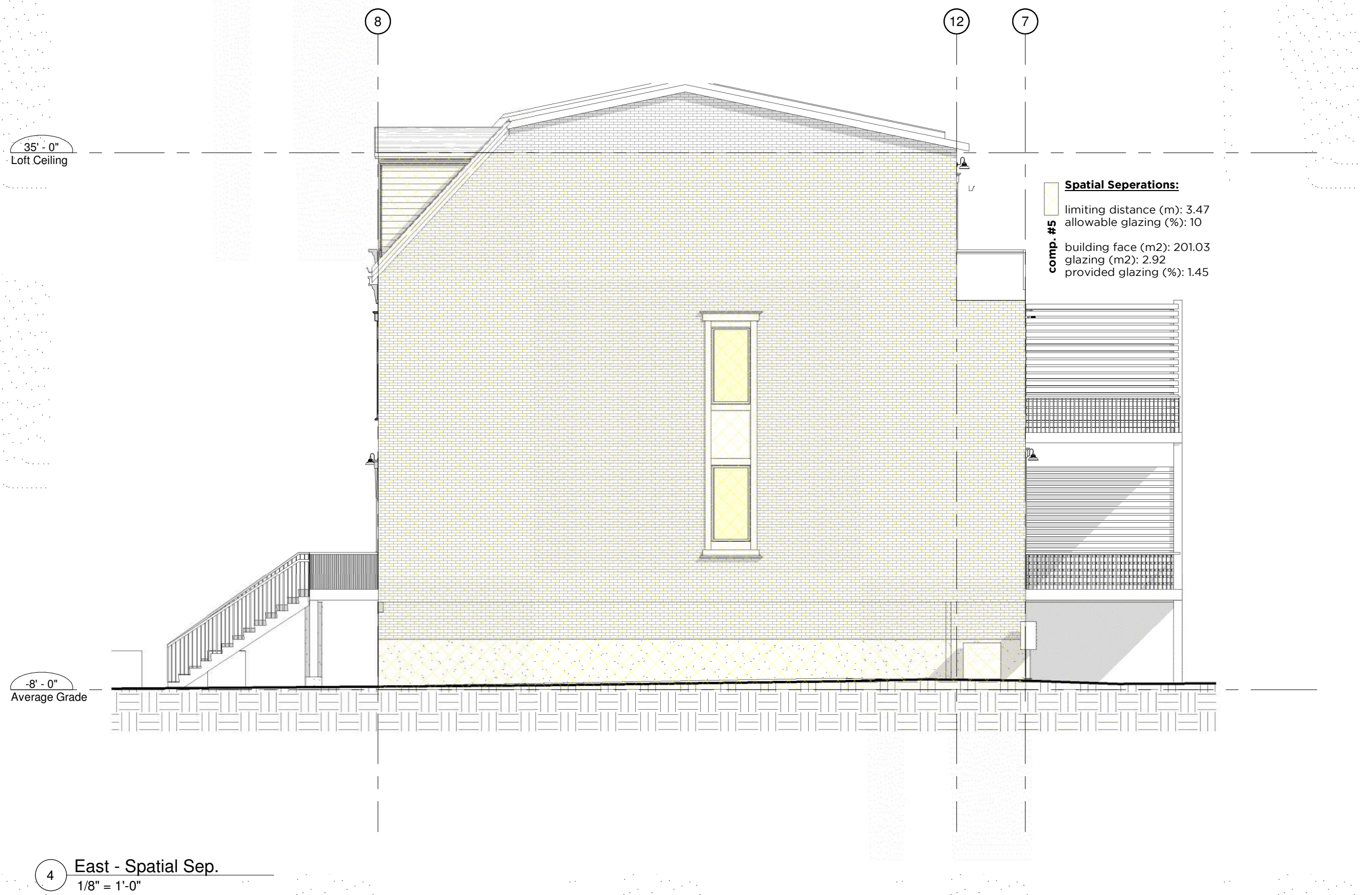
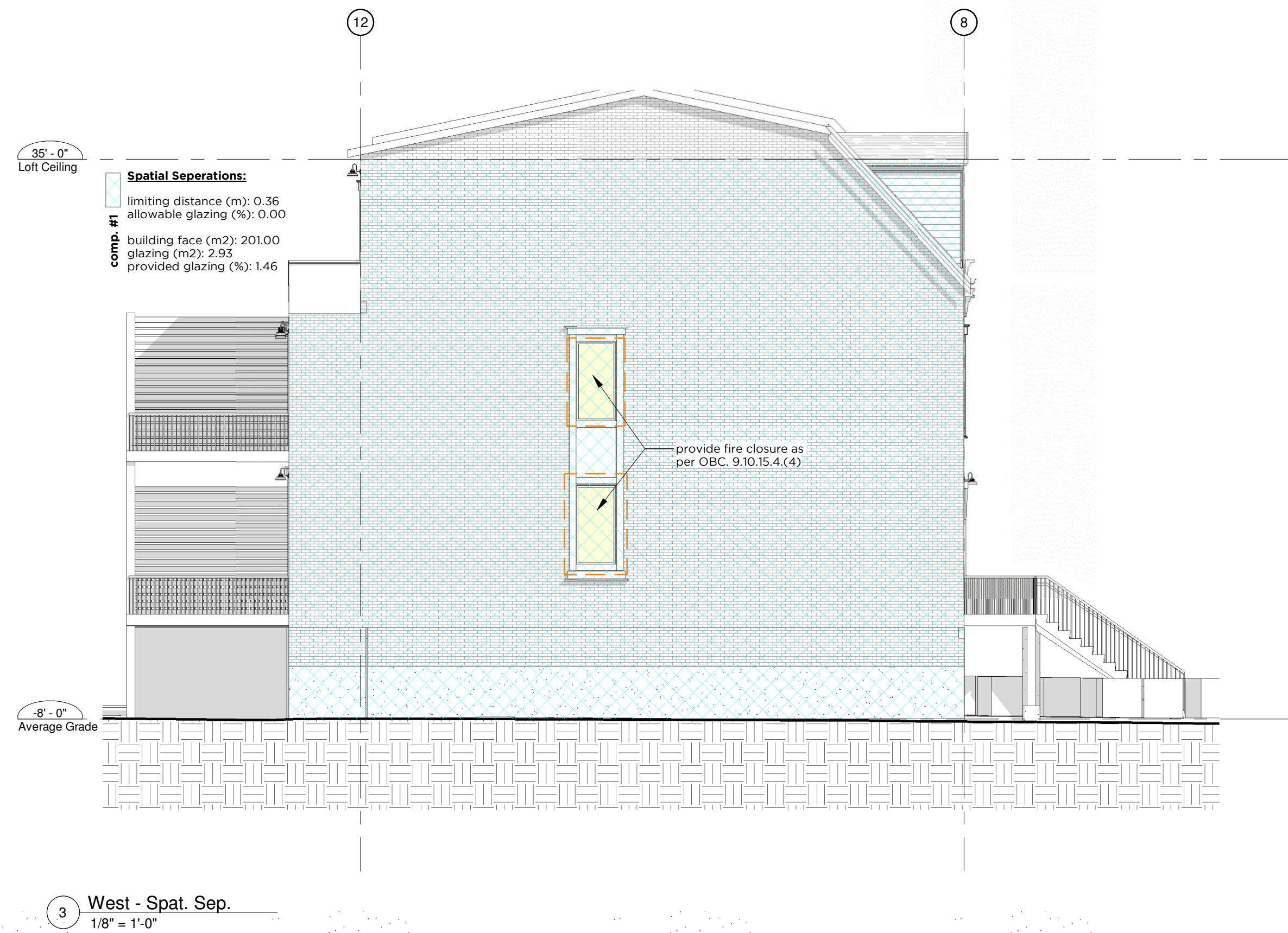
PROJECT
Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME
Elevations

DRAWING NO.
A202

Elevation Legend

- 1 Brick Veneer
- 2 Asphalt Shingles
- 3 Exterior Grade Comp. Moulding
- 4 Exterior Finished Concrete
- 5 Glass Panel Railing
- 6 Wood Horizontal Siding
- 7 Black Steel Railing



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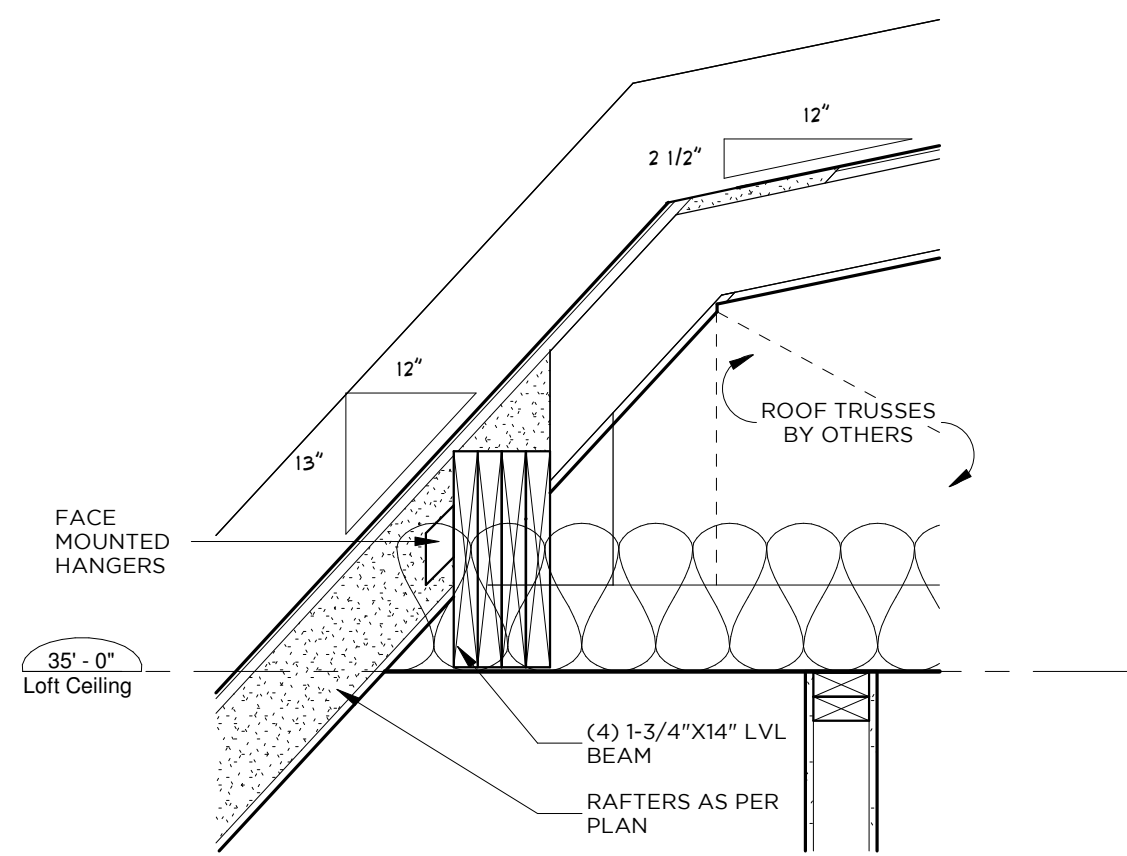
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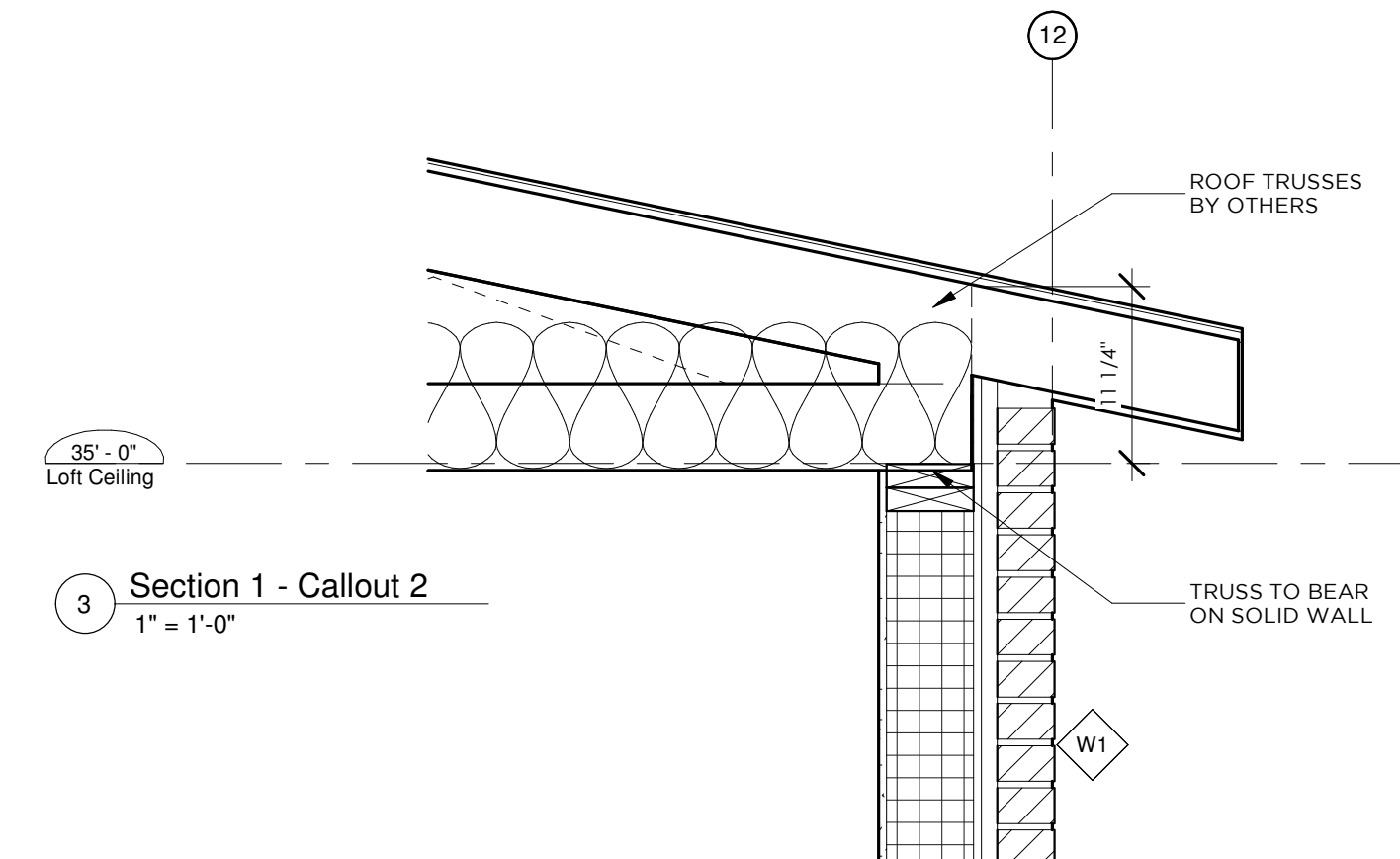
PROJECT
Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME
Elevations - Spatial Separations

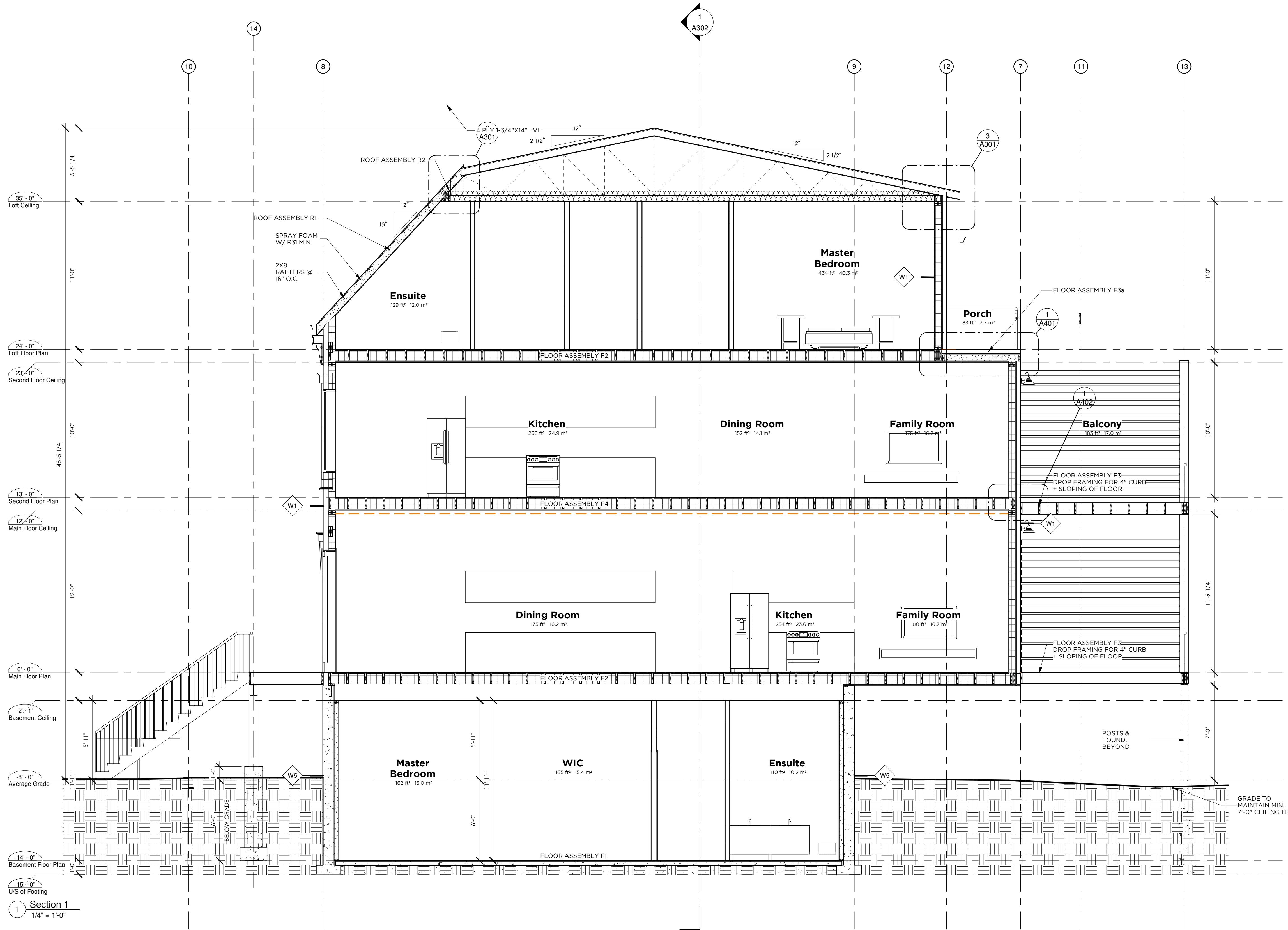
DRAWING NO.
A203



2 Section 1 - Callout 1
1" = 1'-0"



3 Section 1 - Callout 2
1" = 1'-0"



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FIRM: BM DESIGN STUDIO INC.
REG. NO.: 102186
EXPIRATION: 10/06/14

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PROJECT
Bradshaw Townhomes
Bradshaw Townhomes

DRAWING NAME: Building Section
DRAWING NO.: A301